

Andrew
 Construction Services
 Project Manager
 10000

QUEENS

ROAD

A

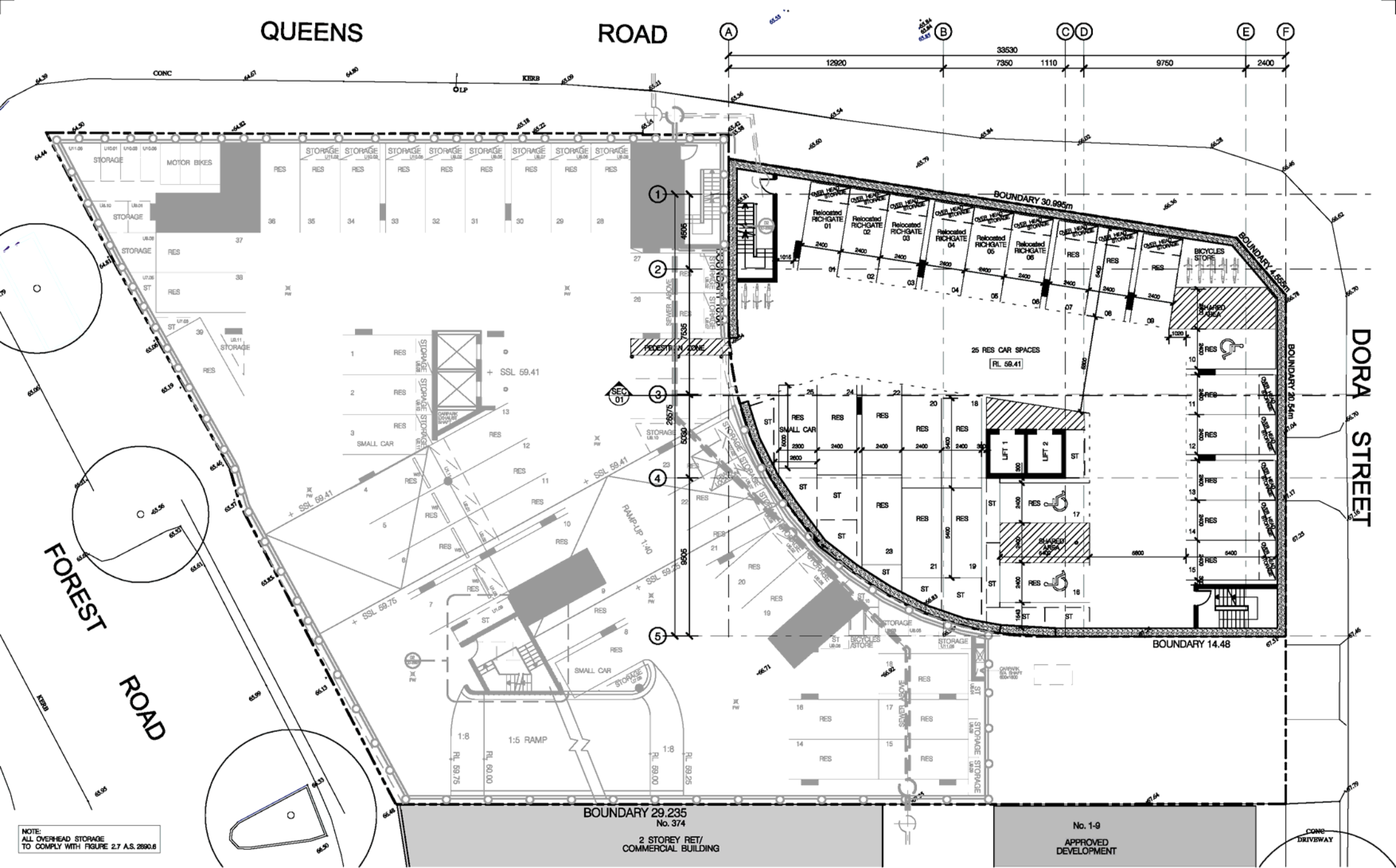
B

C

D

E

F



NOTE:
ALL OVERHEAD STORAGE
TO COMPLY WITH FIGURE 2.7 A.S. 2690.6

FOREST
ROAD

DORA STREET

Scale: 1:100 @A1 1:200 @A3
h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-0800_Basement 2 plan.dgn



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

NO.	DESCRIPTION	DATE	BY	CHECKED
1	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
2	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
3	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
4	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
5	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
6	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
7	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
8	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
9	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA
10	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	SA	SA

Drawing Title:
BASEMENT 2 FLOOR PLAN
Drawing Status:
AUTHORITY APPROVAL
Project Number:
PN-16015
Drawing Number:
A-0800

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QUEENS

ROAD

A

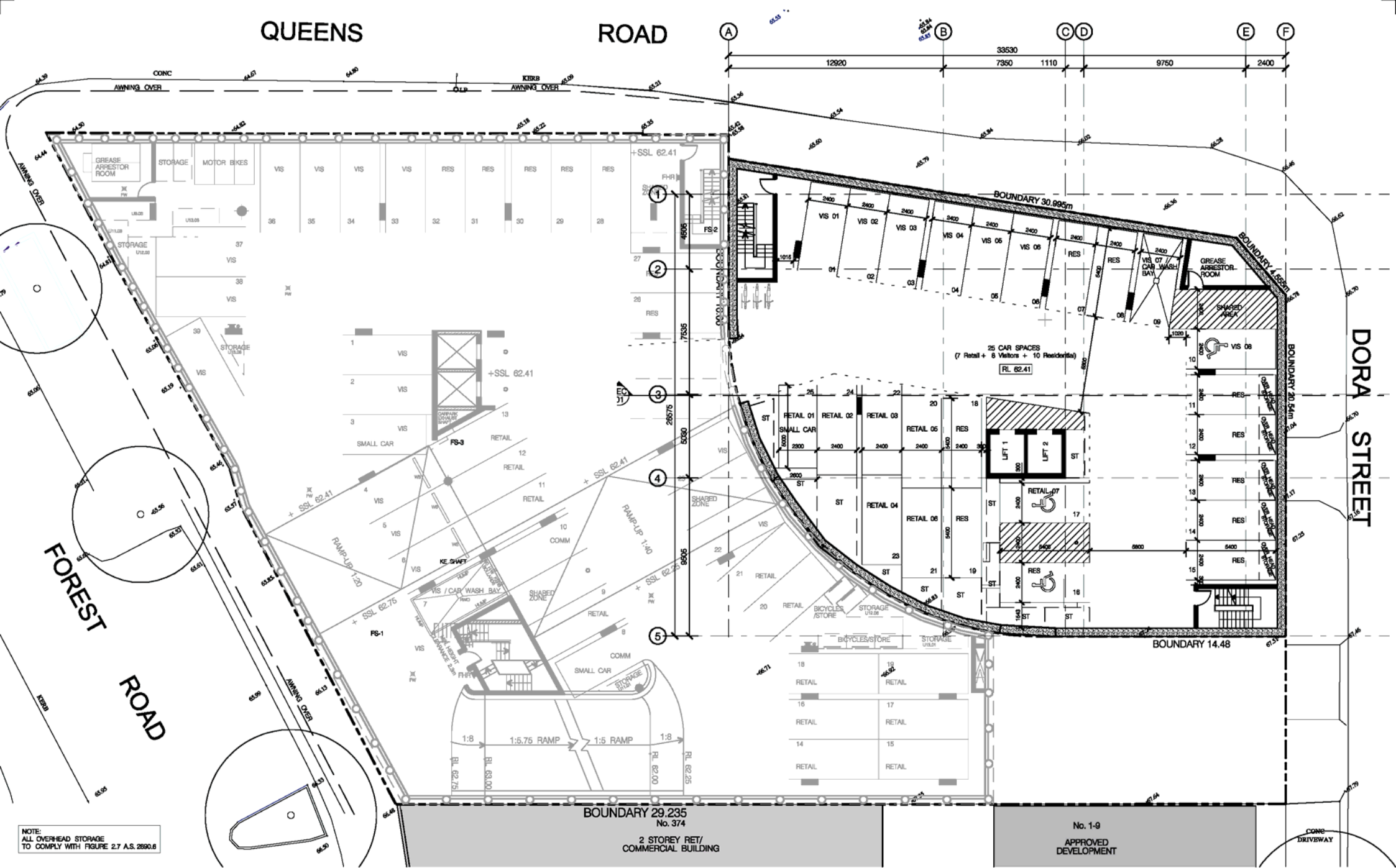
B

C

D

E

F



NOTE:
ALL OVERHEAD STORAGE
TO COMPLY WITH FIGURE 2.7 A.S. 2690.6



Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

NO.	DESCRIPTION	DATE	BY
1	AS ARCHITECT'S SCALE TO SCALE	15/03/2017	AS
2	AS ONLY	15/03/2017	AS
3	FOR CONSTRUCTION	15/03/2017	AS
4	FOR CONSTRUCTION	15/03/2017	AS
5	FOR CONSTRUCTION	15/03/2017	AS
6	FOR CONSTRUCTION	15/03/2017	AS
7	FOR CONSTRUCTION	15/03/2017	AS
8	FOR CONSTRUCTION	15/03/2017	AS
9	FOR CONSTRUCTION	15/03/2017	AS
10	FOR CONSTRUCTION	15/03/2017	AS

Drawing Title
BASEMENT 1 FLOOR PLAN
Drawing Status
AUTHORITY APPROVAL
Project Number
PN-16015
Drawing Number
A-0900

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Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

Drawing Title:
GROUND FLOOR PLAN

Drawing Status:
AUTHORITY APPROVAL

Project Number:
PN-16015

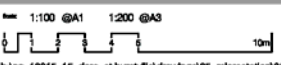
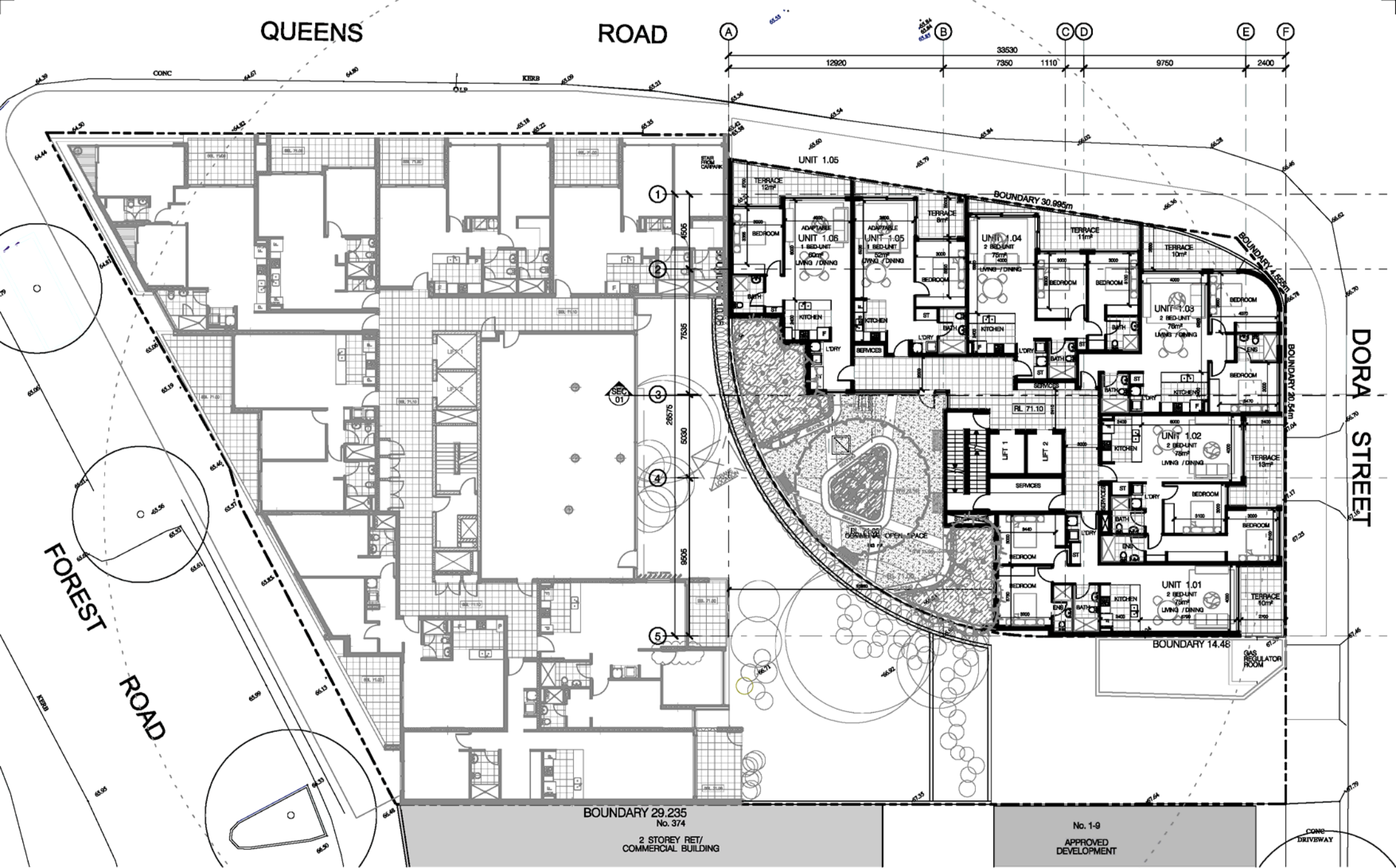
Issue: D Date Printed: 23/06/2017

Drawing Number:
A-1000

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h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-1010_First Floor plan.dgn



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

1	AS ARCHITECT'S SEAL TO COVER	1A	AS ARCHITECT'S SEAL TO COVER
2	AS ONLY	2A	AS ONLY
3	FOR CONSTRUCTION	3A	FOR CONSTRUCTION
4	NOT A MATCH	4A	NOT A MATCH
5	FOR REVIEW / APPROVAL	5A	FOR REVIEW / APPROVAL
6	FOR REVIEW / APPROVAL	6A	FOR REVIEW / APPROVAL

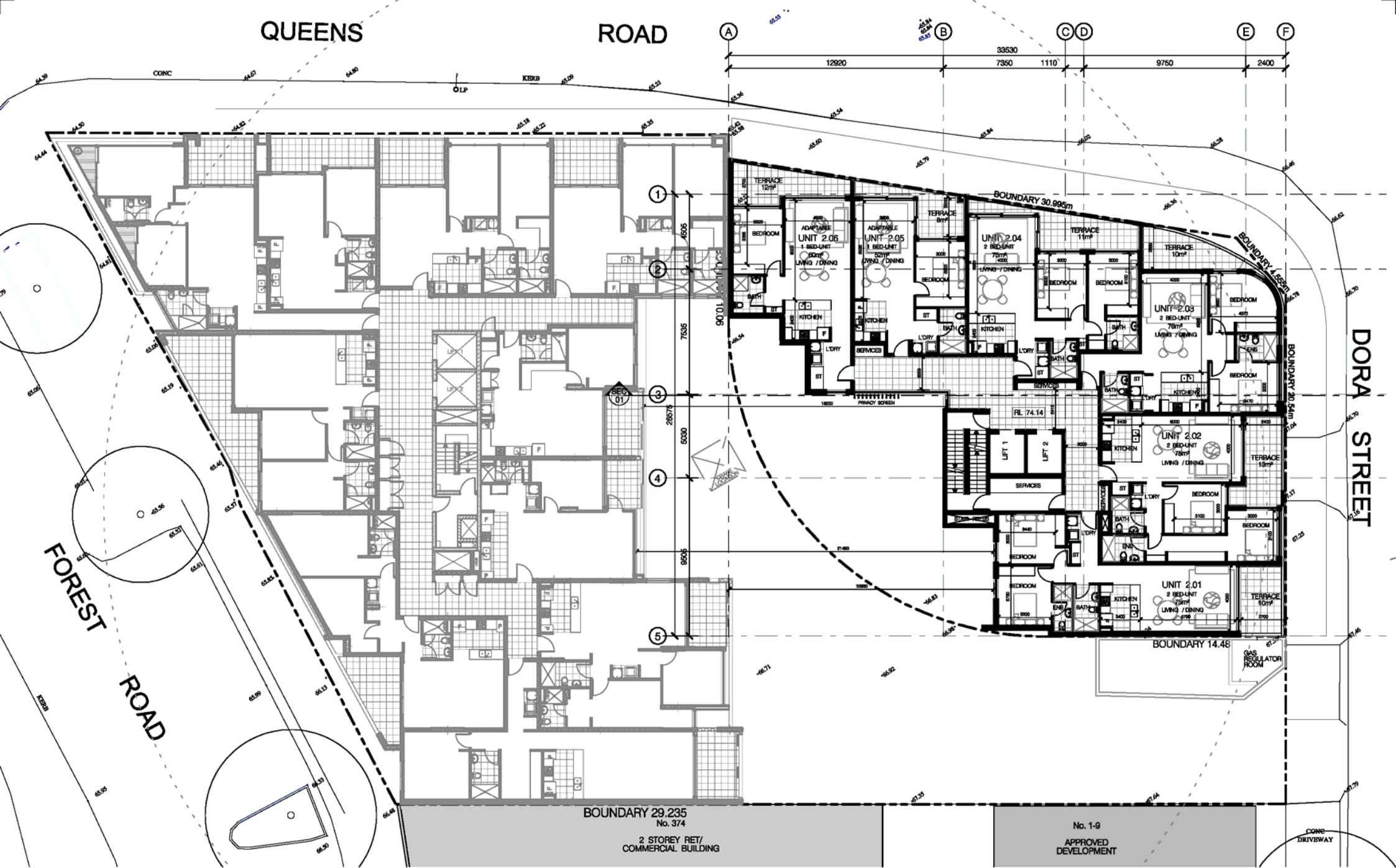
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FIRST FLOOR PLAN
Drawing Status:
AUTHORITY APPROVAL
Project Number:
PN-16015

Index:
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Date Permitted:
23/06/2017
Drawing Number:
A-1010

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FOREST ROAD

QUEENS ROAD

ROAD

DORA STREET

Scale: 1:100 @A1 1:200 @A3
h:\pn_16015_15_dora at hurstville\drawings\05_microrotation\01_dra\plotA-1020_Second Floor plan.dgn

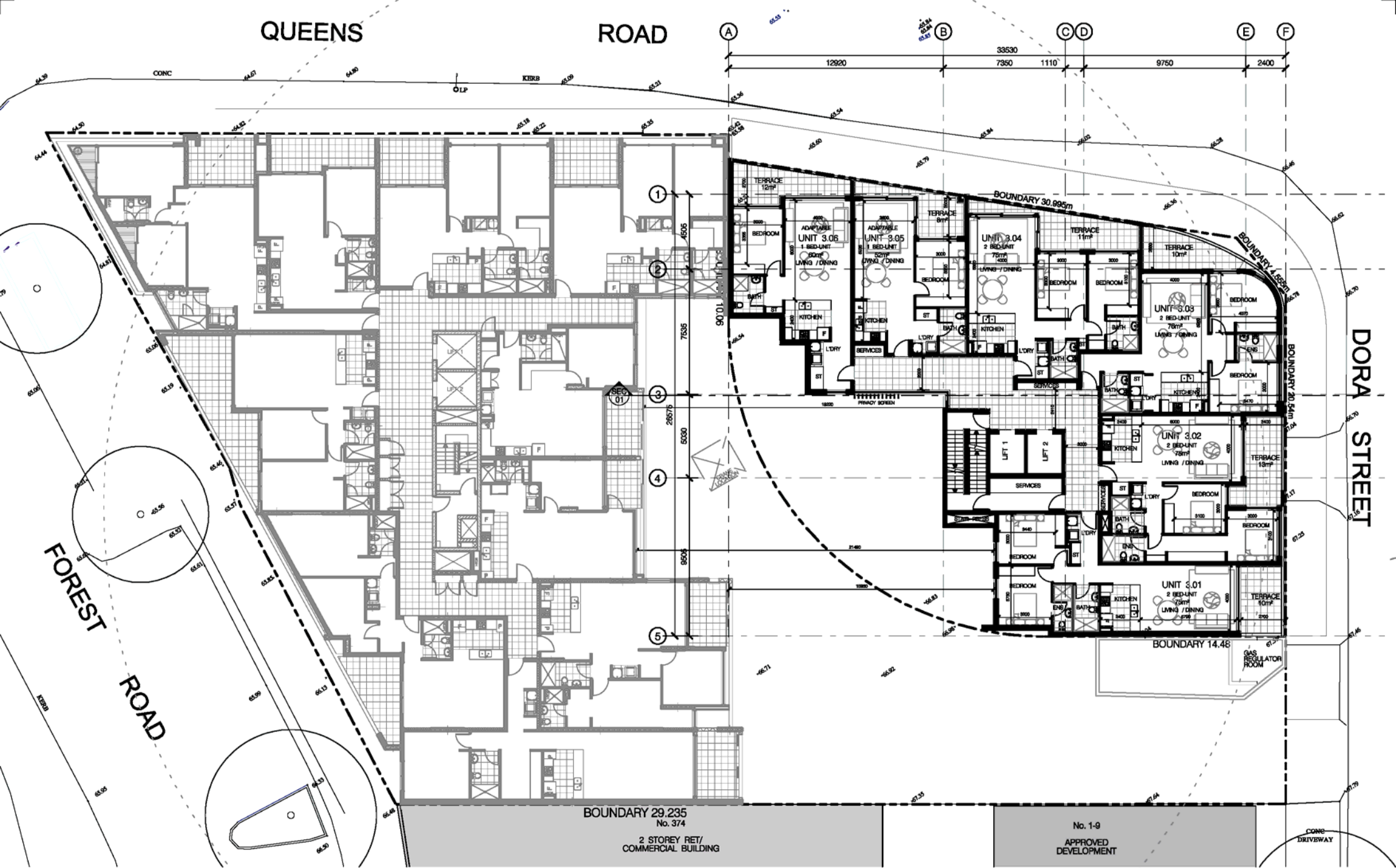


Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

Drawing Title: SECOND FLOOR PLAN	
Drawing Status: AUTHORITY APPROVAL	
Project Number: PN-16015	
Drawing Number: A-1020	
Date: 23/06/2017	
Scale: 1:100	
Author: ARCHITECTS	
Checker: ARCHITECTS	
Date: 23/06/2017	
Scale: 1:100	
Author: ARCHITECTS	
Checker: ARCHITECTS	

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TOWN PLANNERS



h:\pn_16015_15_dora at hurstville\drawings\05_microrstation\01_d\plot\A-1030_Third Floor plan.dgn



Project Details
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15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

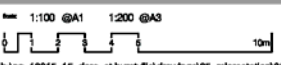
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THIRD FLOOR PLAN		AUTHORITY APPROVAL	
Project Number:		PN-16015	
Drawing Number:		A-1030	
Date:		23/06/2017	
Scale:		1:100 @A1 1:200 @A3	
Author:		A. HARRISON	
Checker:		A. HARRISON	
Approver:		A. HARRISON	
Date:		23/06/2017	

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INTERIOR DESIGNERS
TOWN PLANNERS

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A map showing a road network. A road labeled 'FOREST ROAD' runs diagonally from the top left towards the bottom right. Another road labeled 'KODJ' runs diagonally from the bottom left towards the top right. The two roads intersect. There are some curved lines representing terrain or boundaries.



True North

3	SA INCREASES DUE TO COUNCIL			SA	3
4	SA INCREASES			SA	3
5	FOR CONTRIBUTION			SA	3
6	SA INCREASE			SA	3
7	REVENUE DESCRIPTION			APPD	3
8	REVENUE				

PLEASE INDICATE BY ARCHITECTURAL & BUILDING BOARD : THIS INCREASE IS AN UNCONTROLLED COST VALUE & WOULD BE

Issue: D Date: 23/06/2017

Drawing Number:
A-1040

DETAILS, SPECIFICATIONS, REPORTS AND DRAWINGS

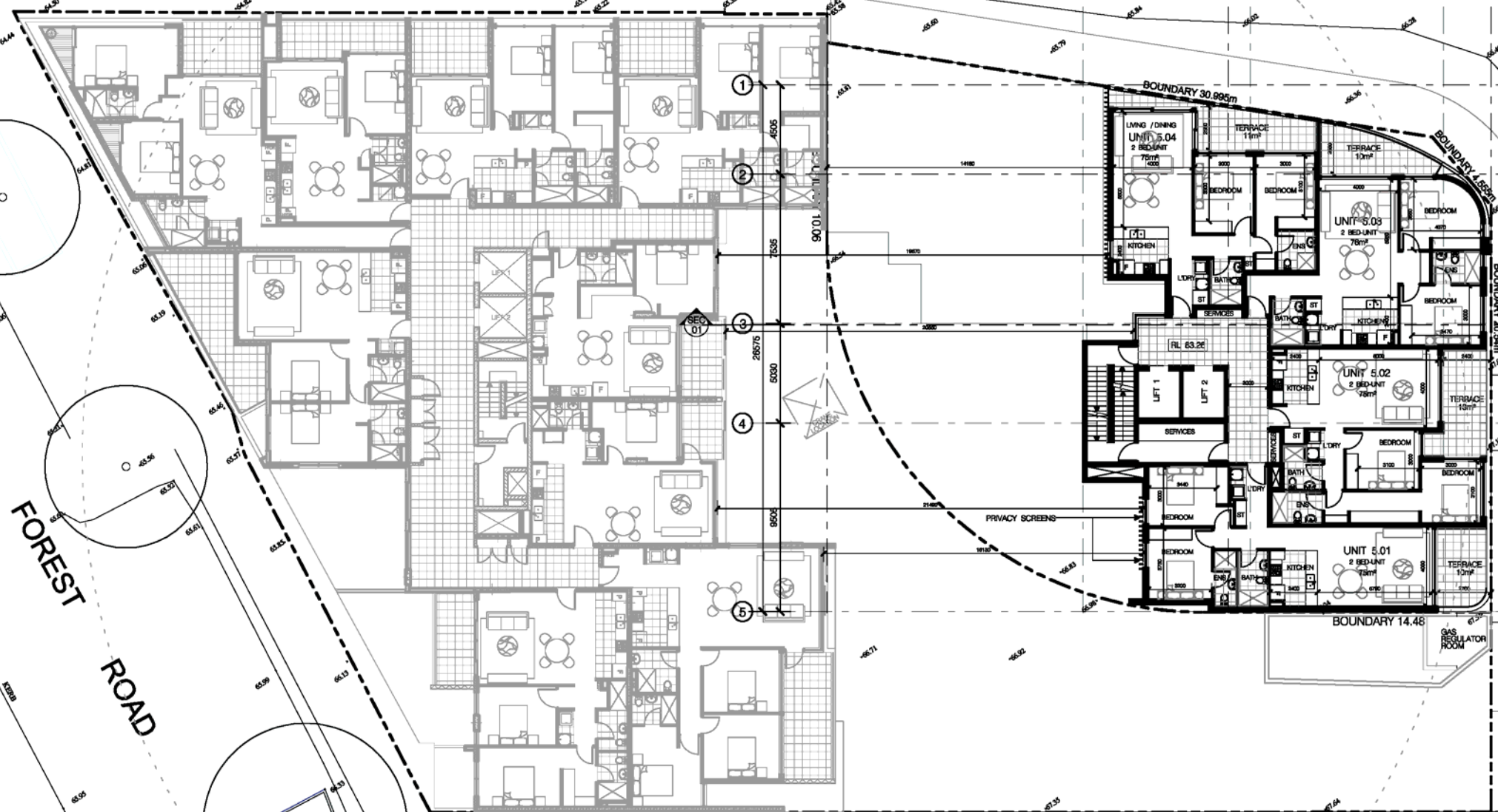
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BOILING POINT

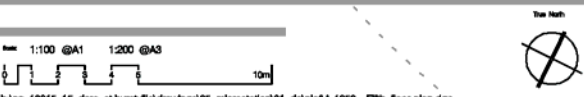
~~CONE~~
DRIVEWAY



BOUNDARY 29.235
No. 374
**2 STOREY RET/
COMMERCIAL BUILDING**

No. 1-9

APPROVED
DEVELOPMENT



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

D	EA MEMBERS' BLUE TO GREEN	NA	7
C	EA MEET	NA	8
B	FOR COORDINATOR	NA	9
A	MCMA MATCH	NA	10
DATE REV	REVISION DESCRIPTION		APP'D

Drawing Title:
FIFTH FLOOR PLAN
 Drawing Issue:
 AUTHORITY APPROVAL
 Project Number:
PN-16015

Issue: D Date: 23/06/2017
Drawing Number: A-1050

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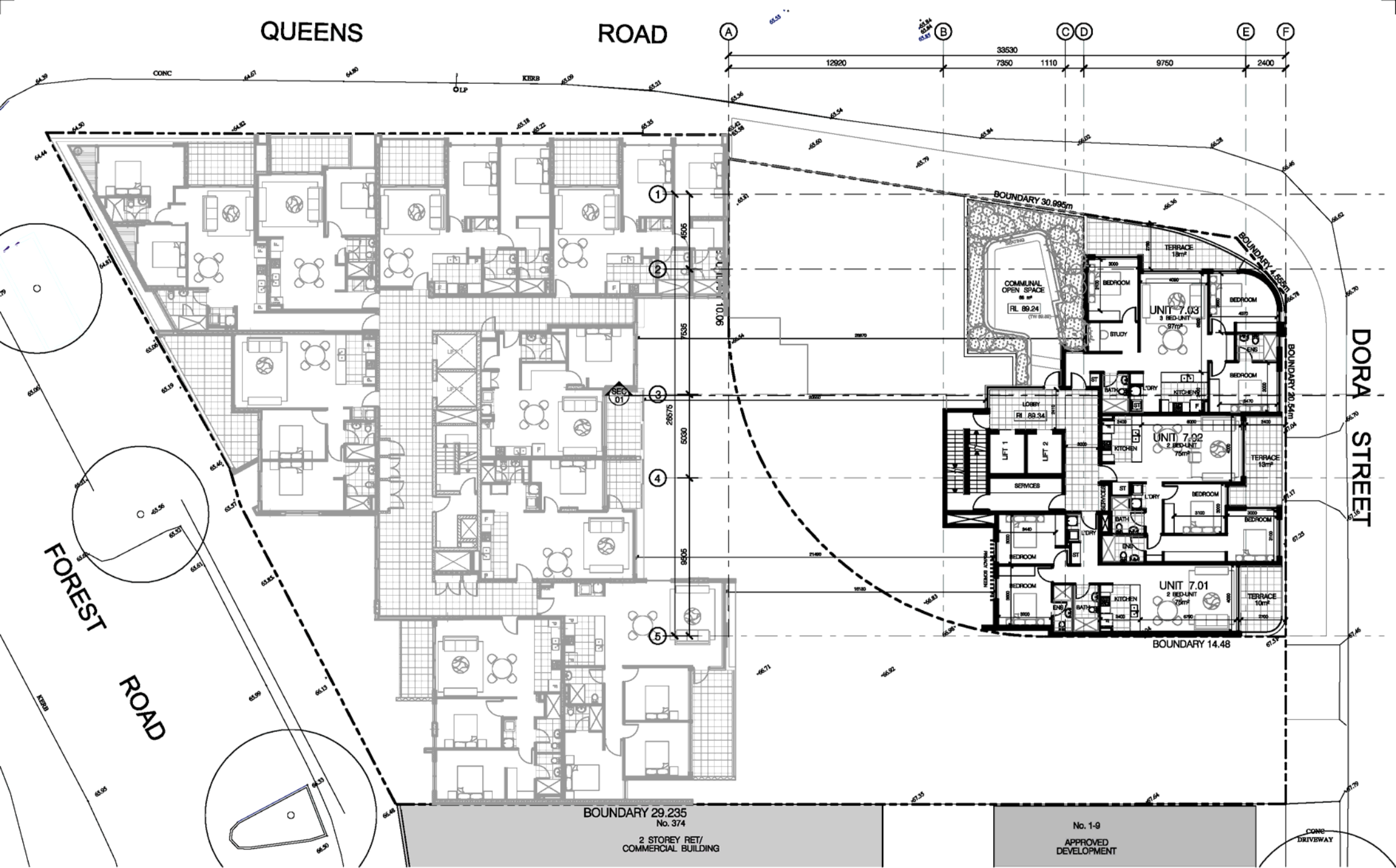
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Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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h:\pn_16015_15_dora at hurstville\drawings\05_microrotation\01_dra\plot\A-1070_Seventh Floor plan.dgn



Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

1	AS ARCHITECT'S SEAL TO COVER	1A	AS ARCHITECT'S SEAL TO COVER
2	AS SEAL	2A	AS SEAL
3	FOR CONSTRUCTION	3A	FOR CONSTRUCTION
4	FOR SETBACK	4A	FOR SETBACK
5	FOR SETBACK	5A	FOR SETBACK
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10	FOR SETBACK	10A	FOR SETBACK

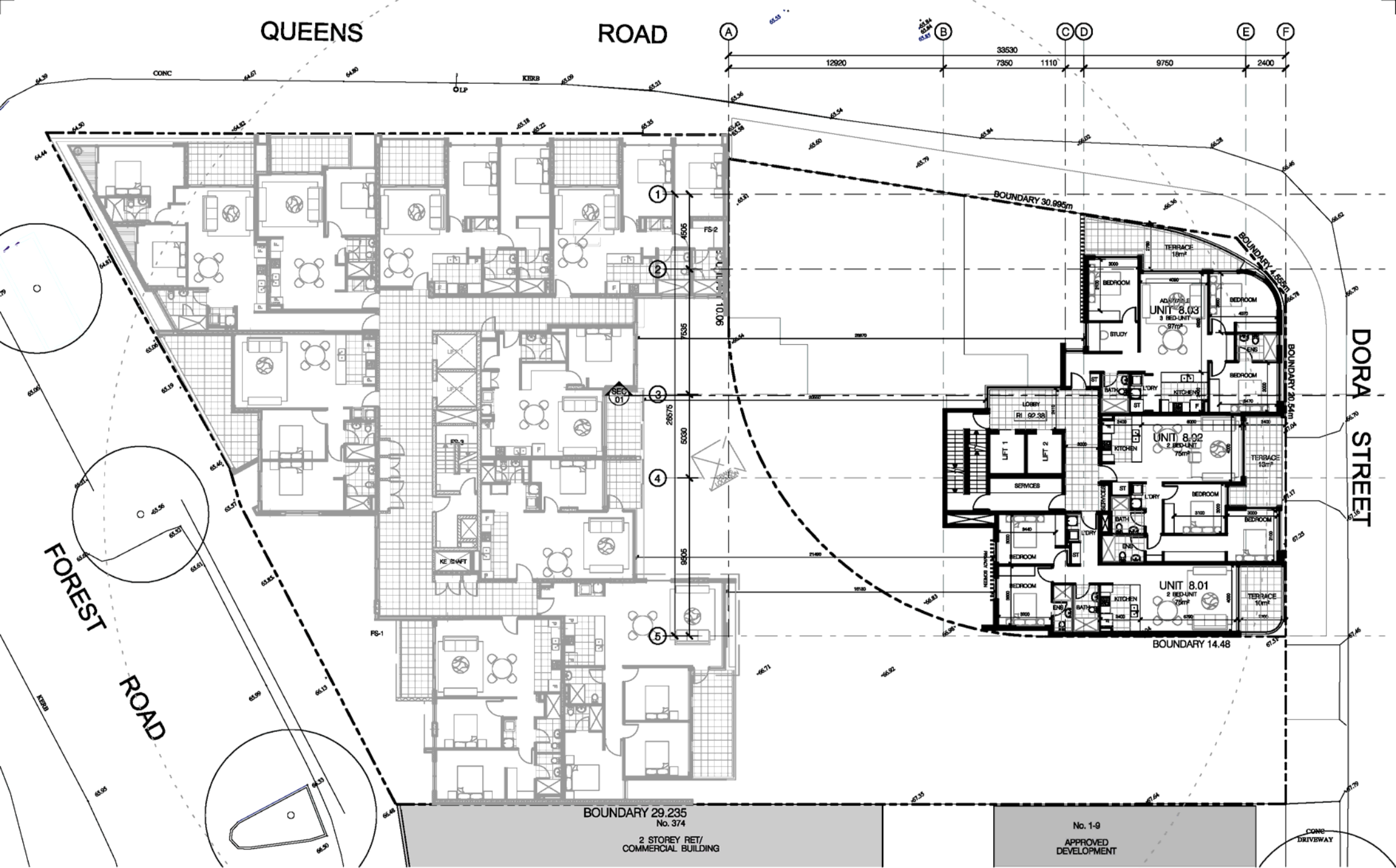
Drawing Title
SEVENTH FLOOR PLAN
Drawing Status
AUTHORITY APPROVAL
Project Number
PN-16015

Index
D
Date Permitted
23/06/2017
Drawing Number
A-1070

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Parramatta NSW 2150
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L1:1 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L2:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L3:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L4:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L5:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L6:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L7:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L8:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L9:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS L10:100 SCALE: 1:1000 BY ARCHITECTURE & BUILDING WORKS



h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-1080_Eighth Floor plan.dgn



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

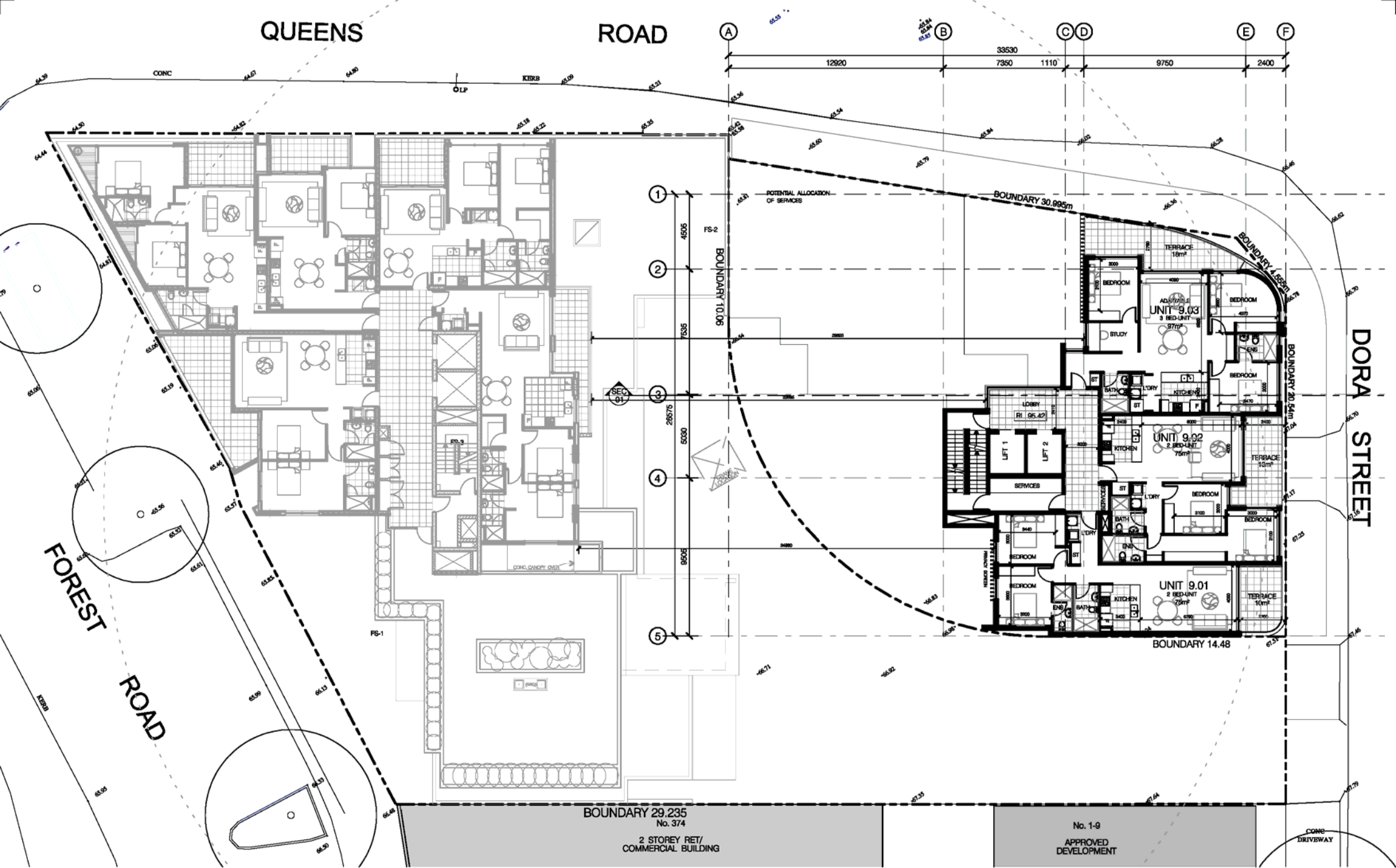
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EIGHTH FLOOR PLAN		AUTHORITY APPROVAL	
Project Number:		PN-16015	
Drawing Number:		A-1080	

Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-1090_Ninth Floor plan.dgn



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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3	FOR CONSTRUCTION	3A	FOR CONSTRUCTION
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Drawing Title:
NINTH FLOOR PLAN
Drawing Status:
AUTHORITY APPROVAL
Project Number:
PN-16015
Drawing Number:
A-1090

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®

1

0

1

COMMERCIAL BUILDING

BOUNDARY 20.54m

BOUNDARY 14.48

No. 1-9
APPROVED
DEVELOPMENT

~~CONE~~
DRIVEWAY

True North



Scale: 1:100 @A1 1:200 @A3

h:\pn_16015_15 done at huntsville\drawings\05 microstation\01 de\plot\A-1100_ Tenth Floor plan.dgn

Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

D	EX ARCHIVO'S ISSUE TO GROUND
C	ON HOLD
B	FOR CONSTRUCTION
A	MTM, MATH
DATE, REV	REVISION DESCRIPTION

Drawing Title:
TENTH FLOOR PLAN
 Drawing Number:
AUTHORITY APPROVAL
 Project Number:
PN-16015

Issue: D Date Printed: 23/06/2017

Drawing Number:
A-1100

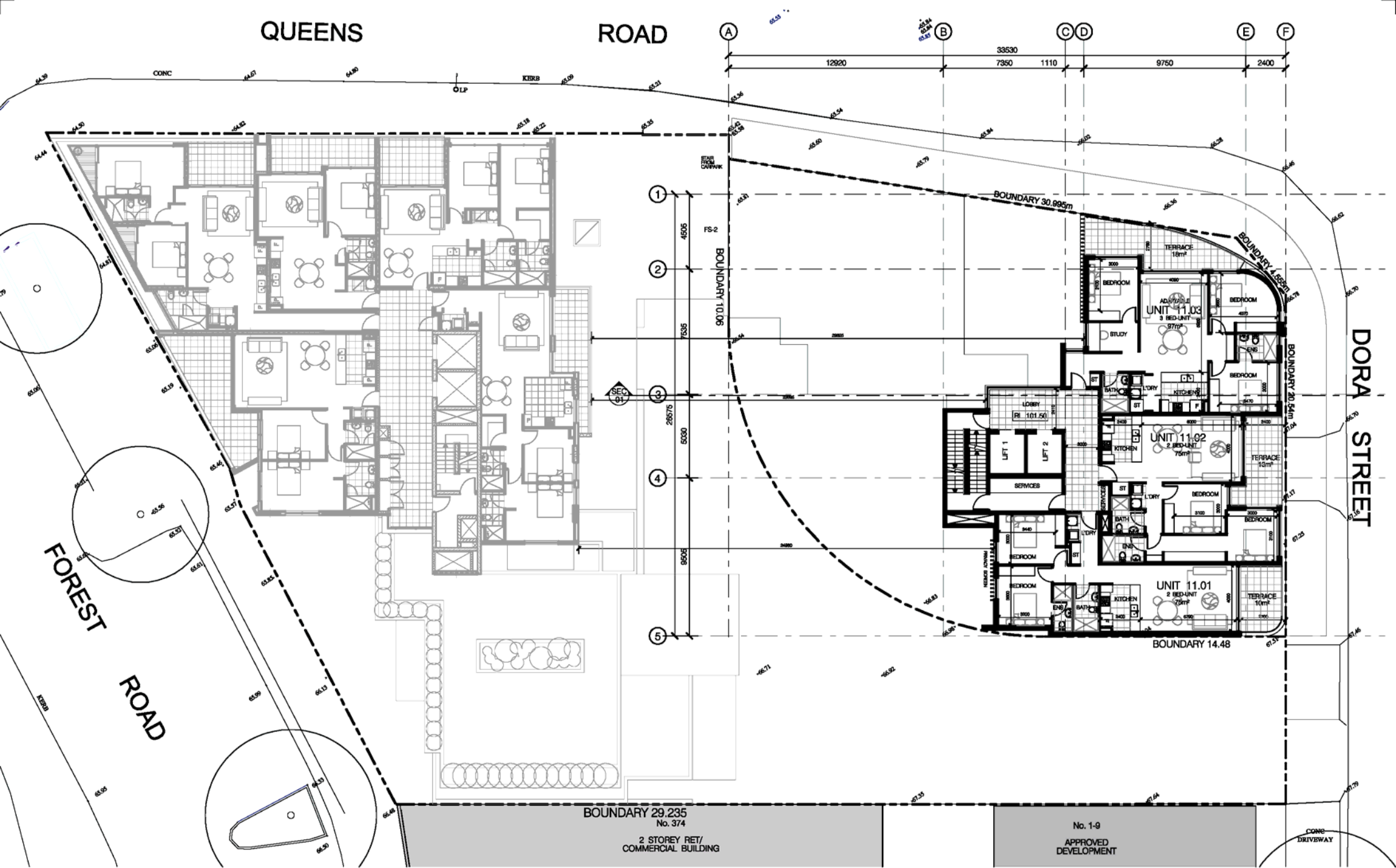
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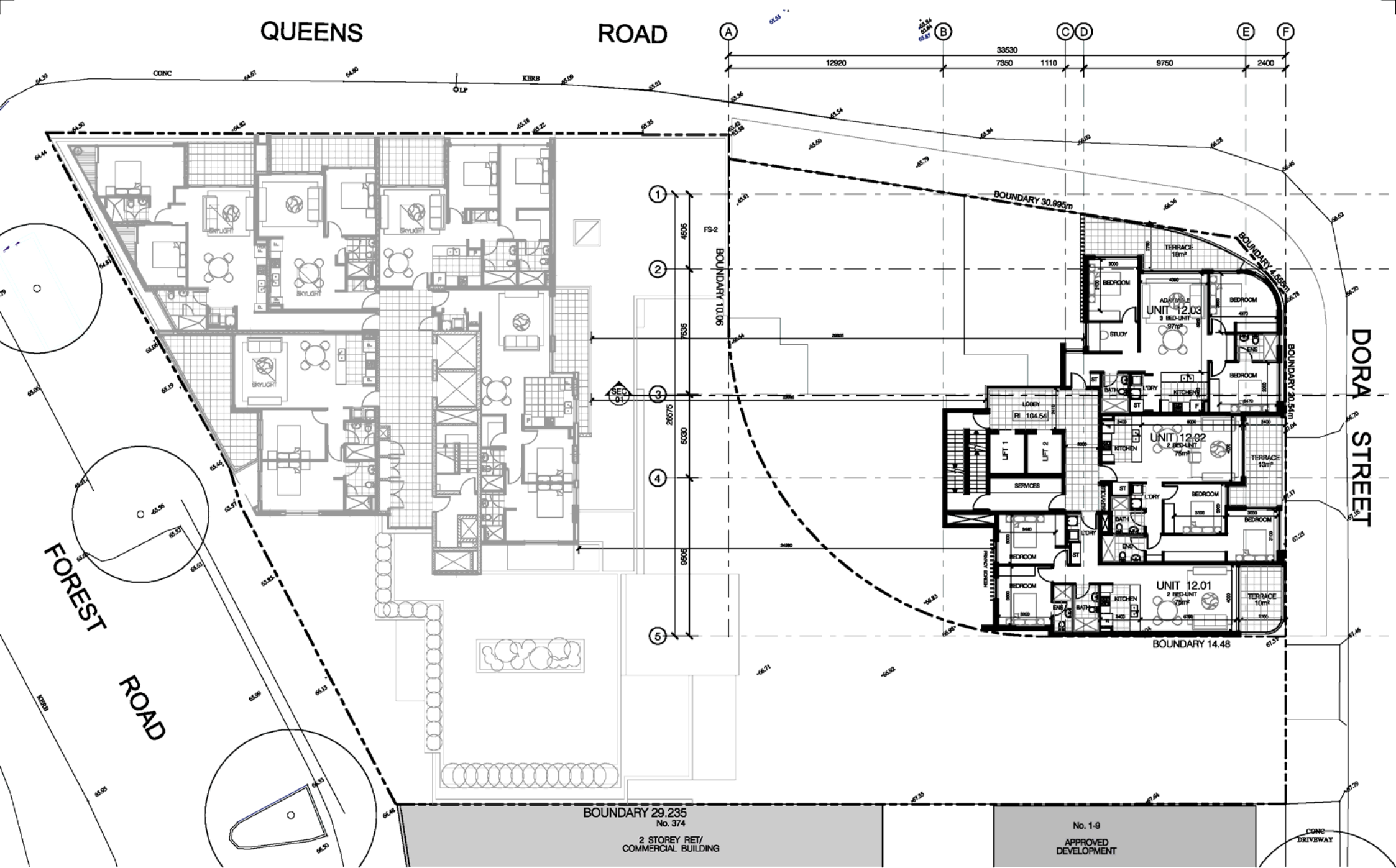


Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

Revisions	
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2	AS ONLY
3	FOR CONSTRUCTION
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Drawing Title:
ELEVENTH FLOOR PLAN
Drawing Status:
AUTHORITY APPROVAL
Project Number:
PN-16015
Drawing Number:
A-1110

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h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-1120_Twelfth Floor plan.dgn



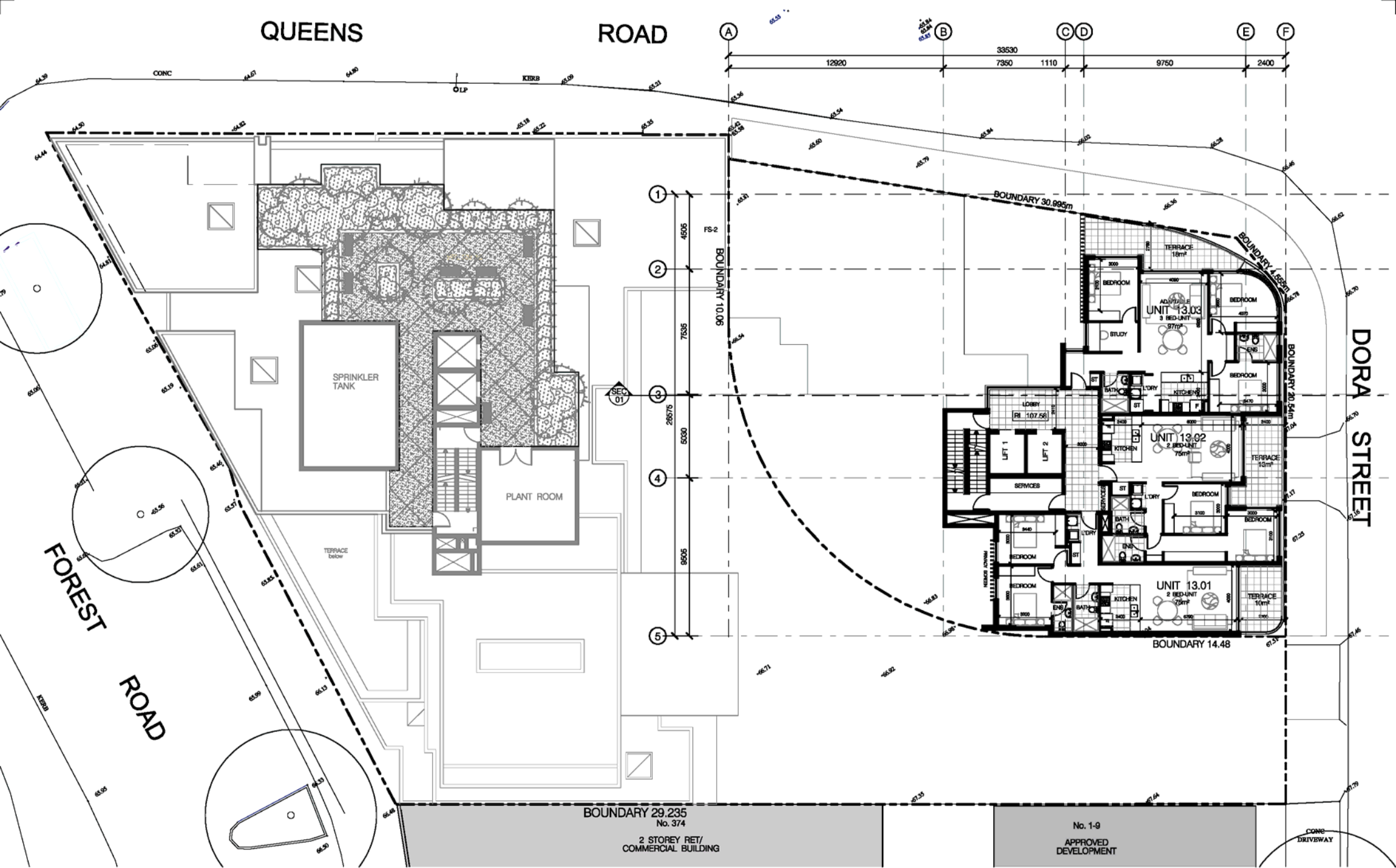
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MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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Drawing Title
TWELFTH FLOOR PLAN
Drawing Status
AUTHORITY APPROVAL
Project Number
PN-16015
Drawing Number
A-1120

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Architect
Construction Manager
Interior Designer
Town Planner



h:\pn_16015_15_dora at hurstville\drawings\05 microstation\01 d\plot\A-1130_Thirteenth Floor plan.dgn



Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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Drawing Title
THIRTEENTH FLOOR PLAN
Drawing Status
AUTHORITY APPROVAL
Project Number
PN-16015
Drawing Number
A-1130

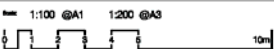
ARCHITECTURE & BUILDING WORKS
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Architects
Construction Managers
Interior Designers
Town Planners

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FOREST

BASIX THERMAL COMMITMENTS	
BUILDING ELEMENT	REQUIREMENT
EXTERNAL WALLS (Medium)	75 mm HEBEL VENEER SARKING PLUS R2.0 BULK INSULATION.
INTERNAL WALLS	PLASTERBOARD ON METAL STUDS
PARTY WALLS	200mm HEBEL PLASTERBOARD BOTH SIDES DIRECT FIX
CEILING INTERNAL	SUSPENDED CONCRETE ABOVE PLASTERBOARD
CEILING EXTERNAL	SUSPENDED CONCRETE ABOVE PLASTERBOARD WITH R2.50 BULK INSULATION
FLOORS	SUSPENDED CONCRETE SLAB
FLOOR COVERINGS	TILES TO ALL WET AREAS, CARPET TO THE REMAINDER
ROOF (Medium)	SUSPENDED CONCRETE SLAB
WINDOWS	ALUMINIUM FRAMED SINGLE GLAZED CLEAR TO ALL WINDOWS AND GLASS DOORS UNLESS NOTED OTHERWISE: GROUP B ALU-008-01 (DOUBLE HUNG, FIXED, LOUVER, SLIDING): U-VALUE 6.70 OR LESS AND SHGC 0.70 +/-6%



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Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
 Client:
 CLIENT NAME

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	AMOUNT		

Drawing Title:
ROOF PLAN

Drawing Scale:
AUTHORITY APPROVAL

Project Number:
PN-16015

Issue: D Date Printed: 23/06/2017

Drawing Number:
A-1140

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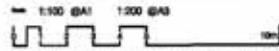
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Issue: 0 Date Printed: 22/06/2017

Drawing Number:
A-2000

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01 NORTH-EAST ELEVATION
SCALE 1:200 @ A3



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Project Name
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client Name

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Drawing Title
NORTH-WEST ELEVATION
Drawing Number
PN-16015

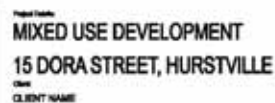
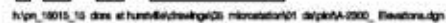
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Date Plotted
23/05/2017
Drawing Number
A-2100

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01 NORTH-WEST ELEVATION
SCALE 1:200 @ A3





Drawing Title:
SOUTH-EAST ELEVATION
 Drawing Scale:
 AUTHORITY APPROVAL
 Project Number:
PN-16015

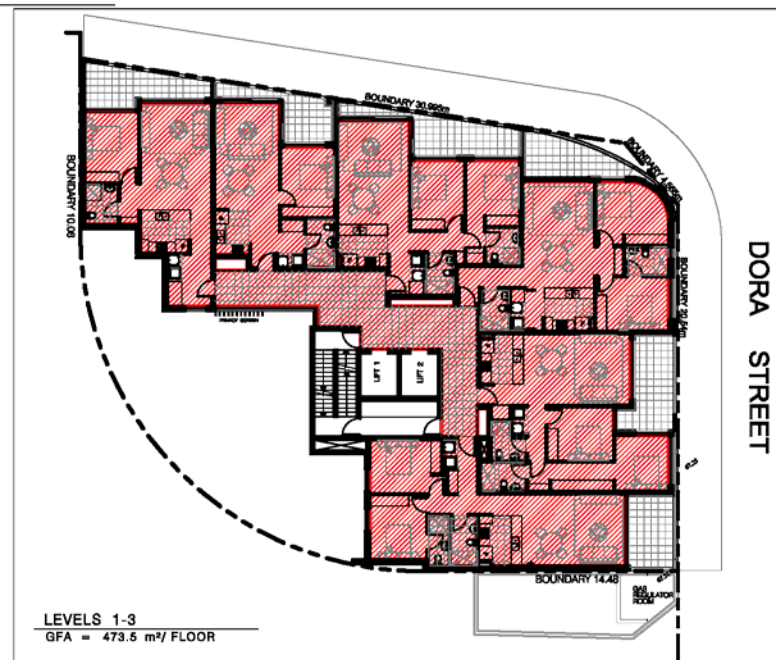
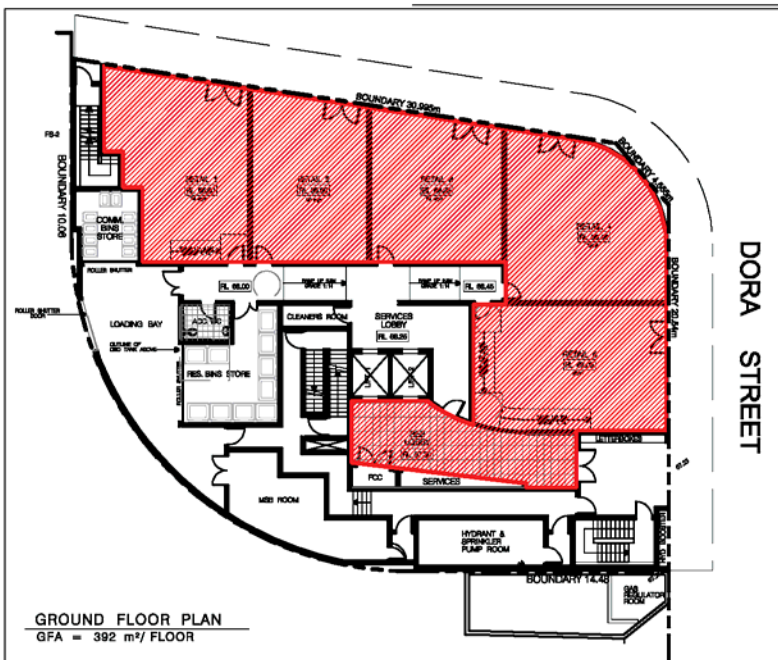
Issue: 0 Date Revised: 22/06/2017

Drawing Number:
A-2300

**ARCHITECTURE &
BUILDING WORKS**
0800 36 000 187 536
7-11 Williams Street,
Melbourne, 3000
Australia
Tel: (03) 8696 1021
Email: advertising@pennings.com.au

01 SOUTH-EAST ELEVATION
SCALE 1:200 @ A3

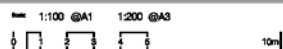
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Interior Designers
Town Planners



GFA CALCULATIONS

	RESIDENTIAL
GROUND FLOOR	392 m²
FIRST FLOOR	473.5 m²
SECOND FLOOR	473.5 m²
THIRD FLOOR	473.5 m²
FOURTH FLOOR	335 m²
FIFTH FLOOR	335 m²
SIXTH FLOOR	335 m²
SEVENTH FLOOR	278 m²
EIGHTH FLOOR	278 m²
NINTH FLOOR	278 m²
TENTH FLOOR	278 m²
ELEVENTH FLOOR	278 m²
TWELFTH FLOOR	278 m²
THIRTEENTH FL	278 m²
TOTAL	4,763.5 m²

- SITE AREA = 794.1 m²
- ALLOWABLE FSR = 6:1
- ALLOWABLE GFA = 4,764.6 m²
- PROPOSED FSR = 6:1



h:\pn_16015_15_dora at hurstville\drawings\05_microrotation\01_dra\pnA-4000_GFA calculation.dgn



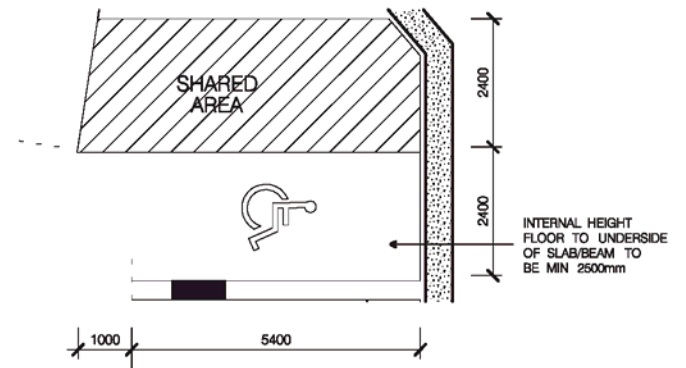
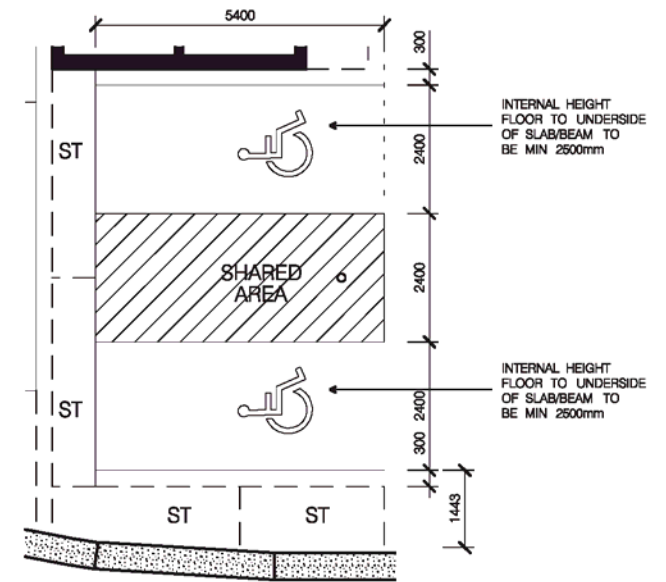
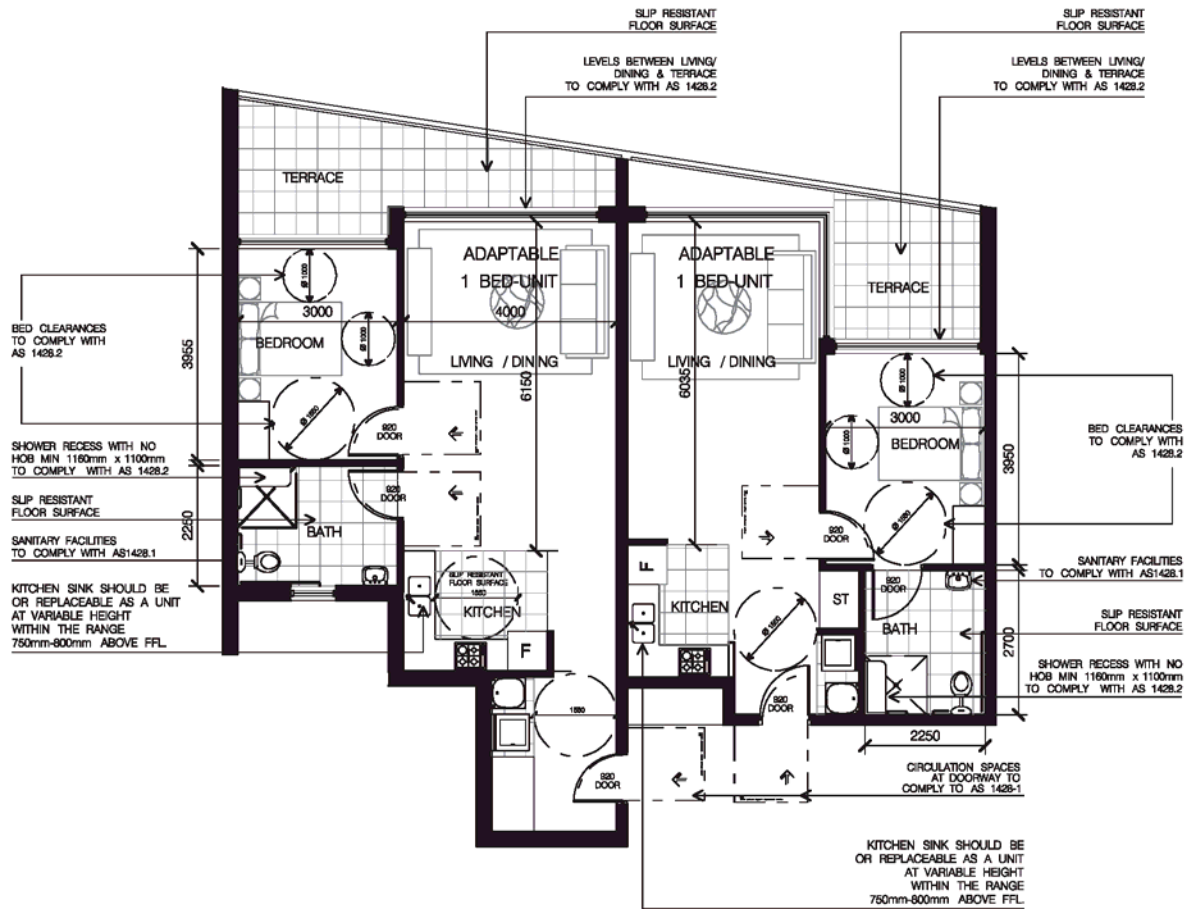
Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

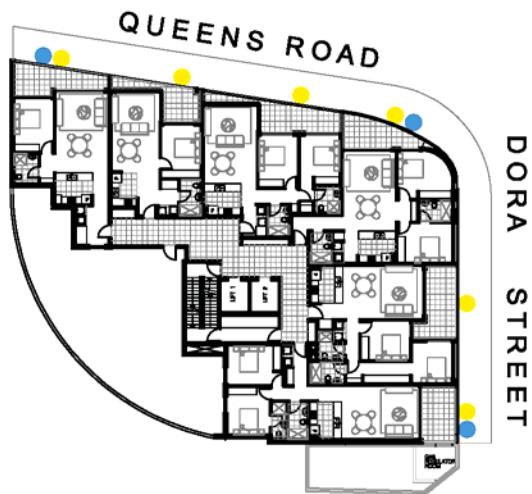
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Drawing Status:	AUTHORITY APPROVAL	Drawing Number:	PN-16015	Project Number:	A-4000
Author:	SA ARCHITECTURE & BUILDING WORKS	Checker:	SA ARCHITECTURE & BUILDING WORKS	Project Manager:	SA ARCHITECTURE & BUILDING WORKS
Designer:	SA ARCHITECTURE & BUILDING WORKS	Reviewer:	SA ARCHITECTURE & BUILDING WORKS	Approver:	SA ARCHITECTURE & BUILDING WORKS
Drawn By:	SA ARCHITECTURE & BUILDING WORKS	Checked By:	SA ARCHITECTURE & BUILDING WORKS	Approved By:	SA ARCHITECTURE & BUILDING WORKS

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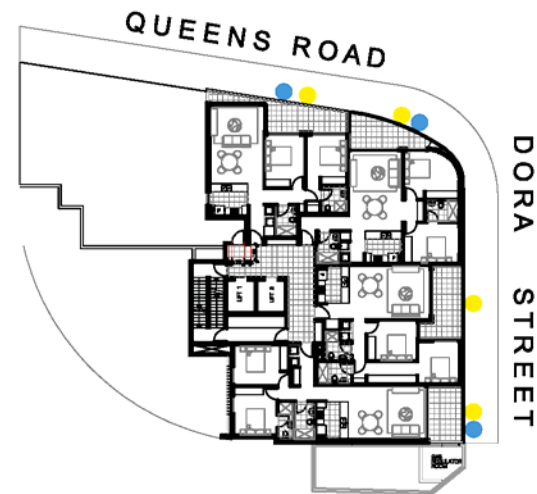
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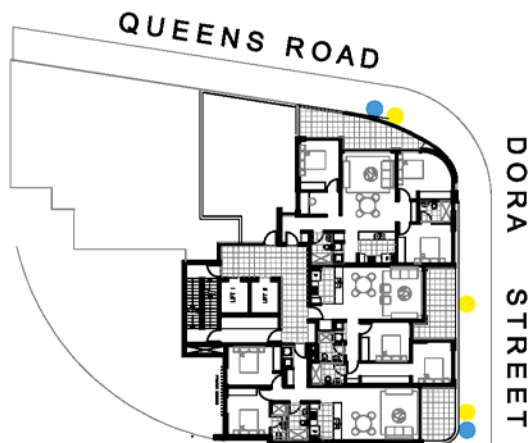




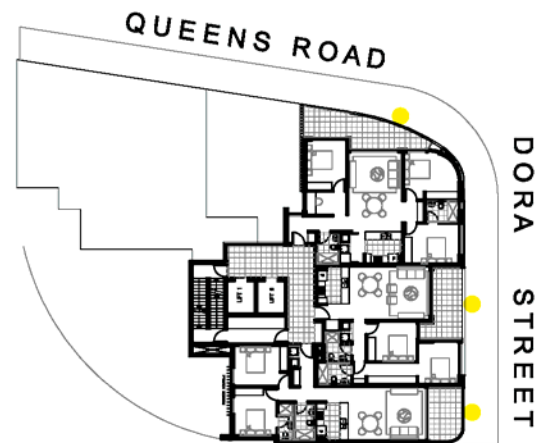
LEVEL 1 TO LEVEL 3



LEVEL 4 TO LEVEL 6



LEVEL 7 TO LEVEL 8



LEVELS 9-13

DEEMED TO COMPLY WITH CROSS VENTILATION

CALCULATION	
TOTAL UNITS:	51
SOLAR ACCESS:.	51/51=100%
CROSS VENT:.	22/36=61.1%

● APARTMENTS WHICH RECEIVES
2H SUN TO LIVING ROOM AND
BALCONY AT MID WINTER

● APARTMENTS WHICH IS CORNER
OR CROSS VENTILATED

Scale: 1:100 @A1 1:200 @A3
10m

h:\pn_16015_15_dora at hurstville\drawings\05_microrotation\01_dra\plotA-4200_Solar & Cross Ventilation plan.dgn



Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

Drawing Title		Issue	Date
SOLAR ACCESS & CROSS VENTILATION PLAN		D	23/06/2017
Drawing Number		Project Number	
PN-16015		A-4200	
Authority Approval		Project Number	
PN-16015		A-4200	
Project Number		Project Number	
PN-16015		A-4200	
Project Number		Project Number	
PN-16015		A-4200	

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Architects
Construction Managers
Interior Designers
Town Planners

①

Map of the study area showing the location of the study site (Study Site) relative to Forest Road and the Kumbh River. The map includes a legend for Forest Road and Kumbh River.

EASEMENT FOR ACCESS (Condition 68 DA consent 1050/2014)
This easement allows 15 DORA STREET
access to the basement levels through the
property at 378-384 FOREST ROAD, Hurstville.

h:\pn 16015 15 done st hurstville\drawings\05 microstation\01 d\plot\A-5000_Easement Plan - Ground floor plan.dgn



CLIENT NAME

Architects
Construction Managers
Interior Designers
Trade Businesses

ANNEXURE-05

QUEENS

ROAD

A

B

C

D

E

F

FOREST ROAD

DORA STREET

LEGEND



EASEMENT FOR ACCESS + CARPARKING
This easement allows 378-384 FOREST ROAD, access into a part of the basement level at 15 DORA STREET, Hurstville.



EASEMENT FOR ACCESS (Condition 66 DA consent 1050/2014)
This easement allows 15 DORA STREET access to the basement levels through the property at 378-384 FOREST ROAD, Hurstville.

NOTE:
ALL OVERHEAD STORAGE
TO COMPLY WITH FIGURE 2.7 A.S. 2690.6



h:\pn_16015_15_dora-at-hurstville\drawings\05 microstation\01 d\plot\A-5100_Easement Plan - Basement 1 plan.dgn



Project Details
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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2	DA SEAL	DA	16/03/2017
3	FOR CONSTRUCTION	DA	16/03/2017
4	FOR SETBACK	DA	16/03/2017
5	FOR SETBACK	DA	16/03/2017
6	FOR SETBACK	DA	16/03/2017
7	FOR SETBACK	DA	16/03/2017
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Drawing Title
EASEMENT PLAN
BASEMENT 1 FLOOR PLAN
Drawing Number
PN-16015

Index
D
Date Permitted
23/06/2017
Drawing Number
A-5100

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QUEENS

ROAD

A

B

C

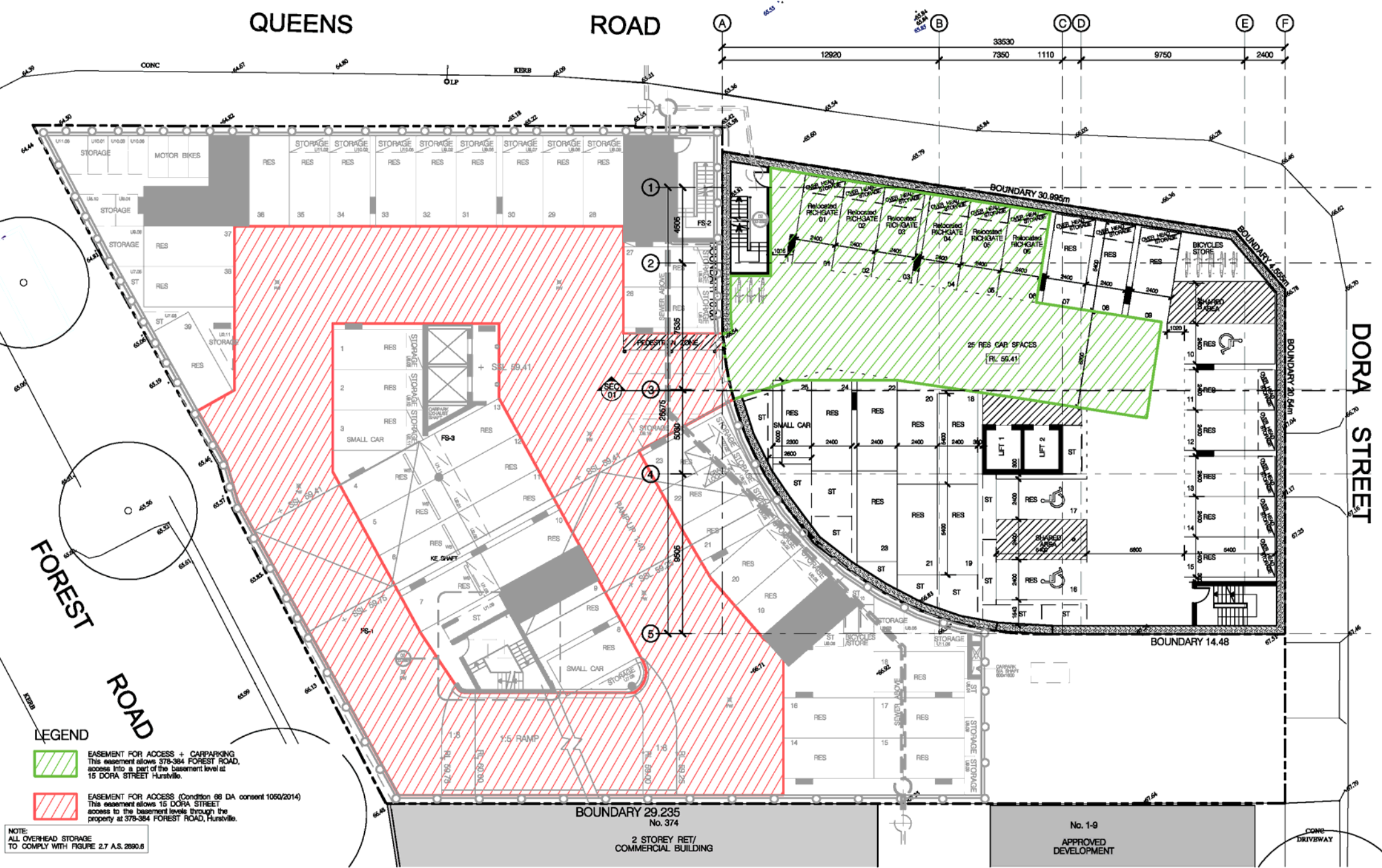
D

E

F

FOREST ROAD

DORA STREET

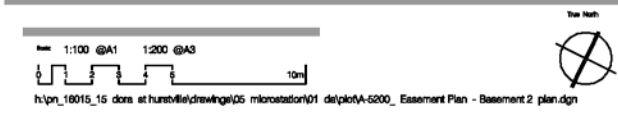


LEGEND

EASEMENT FOR ACCESS + CARPARKING
This easement allows 378-384 FOREST ROAD, access into a part of the basement level at 15 DORA STREET Hurstville.

EASEMENT FOR ACCESS (Condition 66 DA consent 1050/2014)
This easement allows 15 DORA STREET access to the basement levels through the property at 378-384 FOREST ROAD, Hurstville.

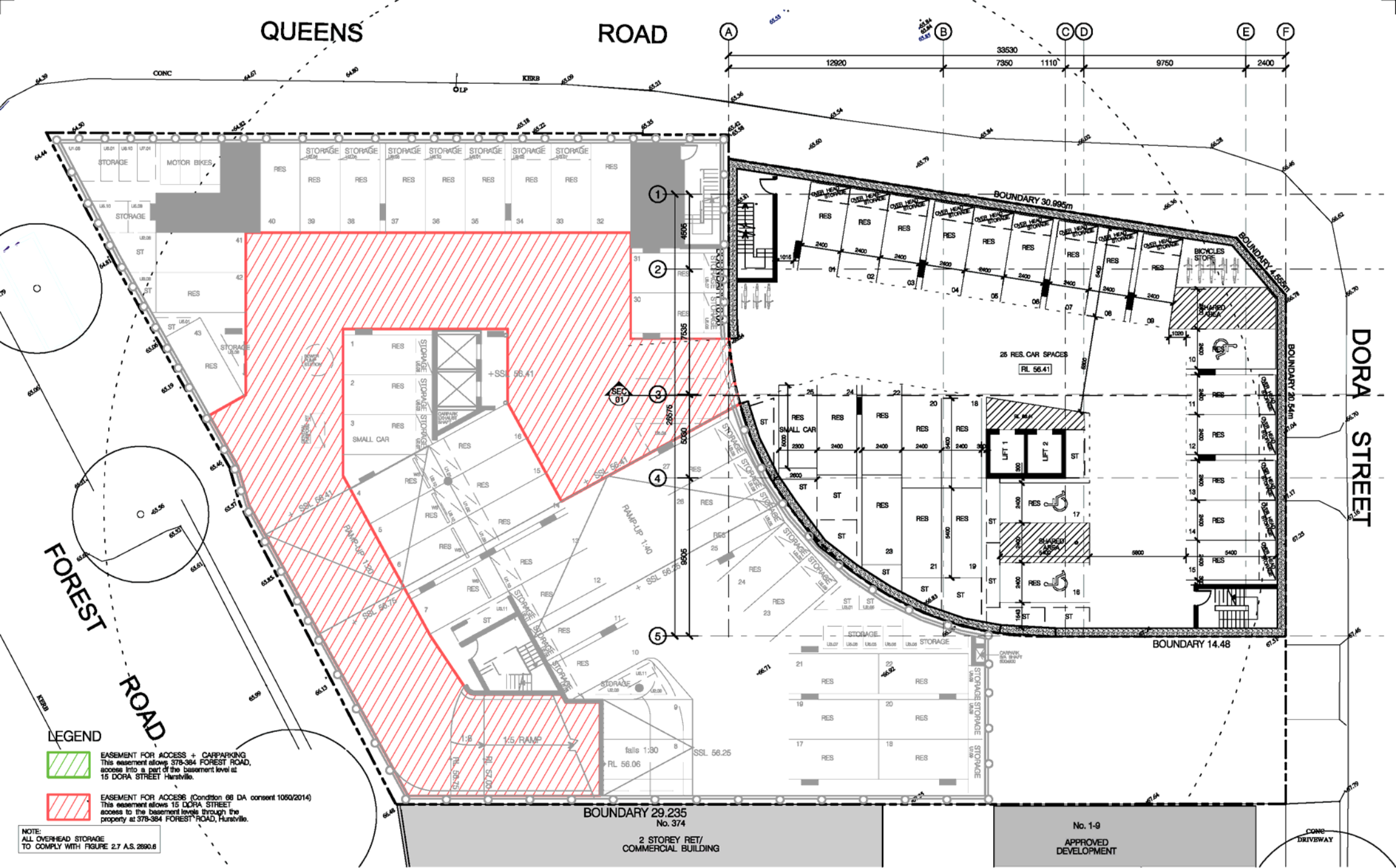
NOTE:
ALL OVERHEAD STORAGE TO COMPLY WITH FIGURE 2.7 A.S. 2690.6



Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client: CLIENT NAME

Drawing Title:
EASEMENT PLAN
BASEMENT 2 FLOOR PLAN
Drawing Number: **PN-16015**
Authority Approval: **A-5200**

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ABW 35 000 181 010
7-8 Gibsons Street
Parramatta NSW 2150
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Email: admin@abwworks.com.au

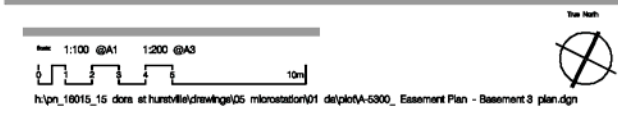


LEGEND

 EASEMENT FOR ACCESS + CARPARKING
This easement allows 378-384 FOREST ROAD, access into a part of the basement level at 15 DORA STREET Hurstville.

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NOTE:
ALL OVERHEAD STORAGE TO COMPLY WITH FIGURE 2.7 A.S. 2690.6



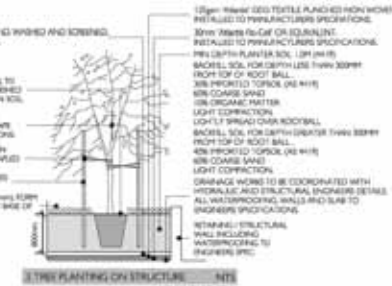
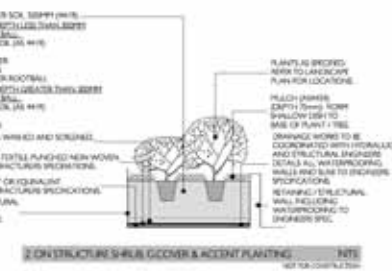
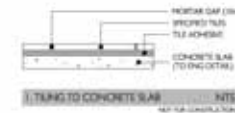
Project Details:
MIXED USE DEVELOPMENT
15 DORA STREET, HURSTVILLE
Client:
CLIENT NAME

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Drawing Number: PN-16015		Project Number: A-5300
Authority Approval: PN-16015		Drawn By: A-5300

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MAINTENANCE PROGRAMME

Maintenance shall apply to all soft landscape materials installed as per landscape plan 800220DA1, 800220DA2 and as accepted by Georges River Council. Maintenance of softworks shall be for a minimum of 52 weeks after practical completion.

Minimum recurrent maintenance shall be as per schedule and cannot but not be limited to the following weeks:

- Water all plants twice per week or as necessary to ensure maximum plant growth. For the first 8 weeks from establishment maintain moisture to a depth of 100mm.
- Apply appropriate weed control spray where necessary.
- Regularly cultivate to ensure water penetration to plants and to keep the area in a neat and tidy condition. Re-mulch as necessary to all newly planted areas.
- Spray to control pests and diseases.
- Apply organic slow release fertiliser to garden area at 3 monthly intervals through spring and summer. Organic liquid fertiliser to be applied throughout spring & summer as required.
- Replace plants which fail with plants of a similar size and quality as originally specified (at contractors cost) prior to next inspection.
- Report any incidence of plants eaten or destroyed by vermin. Report as requested.
- Adjust stakes and ties to plants as necessary. Ensure compliance of plants does not occur.
- Prune and shape plants as required. Shape plants in the boundaries are to be pruned to allow for access where required.
- Delivery of fuels arising out of defective workmanship are to be made good.
- Irrigation system and components are to be inspected at regular intervals to ensure correct operation. Minor repairs are to be undertaken to components. System failures are to be reported to head corporate representative for action.
- A final inspection shall be made by the landscape architect at the conclusion of the 52 week maintenance period. Any items requiring rectification shall be repaired to satisfaction of the Landscape Architect.

MAINTENANCE SCHEDULE

Item	Description	Plant No.	Unit	Substrate
1	Grass	100	100	Grass
2	Grass	100	100	Grass
3	Grass	100	100	Grass
4	Grass	100	100	Grass
5	Grass	100	100	Grass
6	Grass	100	100	Grass
7	Grass	100	100	Grass
8	Grass	100	100	Grass
9	Grass	100	100	Grass
10	Grass	100	100	Grass

PLANT SCHEDULE

Item	Plant Name	Plant No.	Unit	Substrate
1	Grass	100	100	Grass
2	Grass	100	100	Grass
3	Grass	100	100	Grass
4	Grass	100	100	Grass
5	Grass	100	100	Grass
6	Grass	100	100	Grass
7	Grass	100	100	Grass
8	Grass	100	100	Grass
9	Grass	100	100	Grass
10	Grass	100	100	Grass



i2thmus pty ltd
100 KOTING RD
PO BOX 100
Crows Nest
NSW 1585
Email: info@i2thmus.com.au

Sheet 1 of 5

NO.	DESCRIPTION	NO.	DATE
1	ISSUED FOR TENDERS	1	10/06/17
2	ISSUED FOR TENDERS	2	10/06/17
3	ISSUED FOR TENDERS	3	10/06/17
4	ISSUED FOR TENDERS	4	10/06/17
5	ISSUED FOR TENDERS	5	10/06/17

LANDSCAPE PLAN		DWG: 800220DA1
SITE PLAN		ISSUE: REV
DATE: JUNE 2017		
SCALE: 1:1000 (A1) - 1:2000 (A3)		



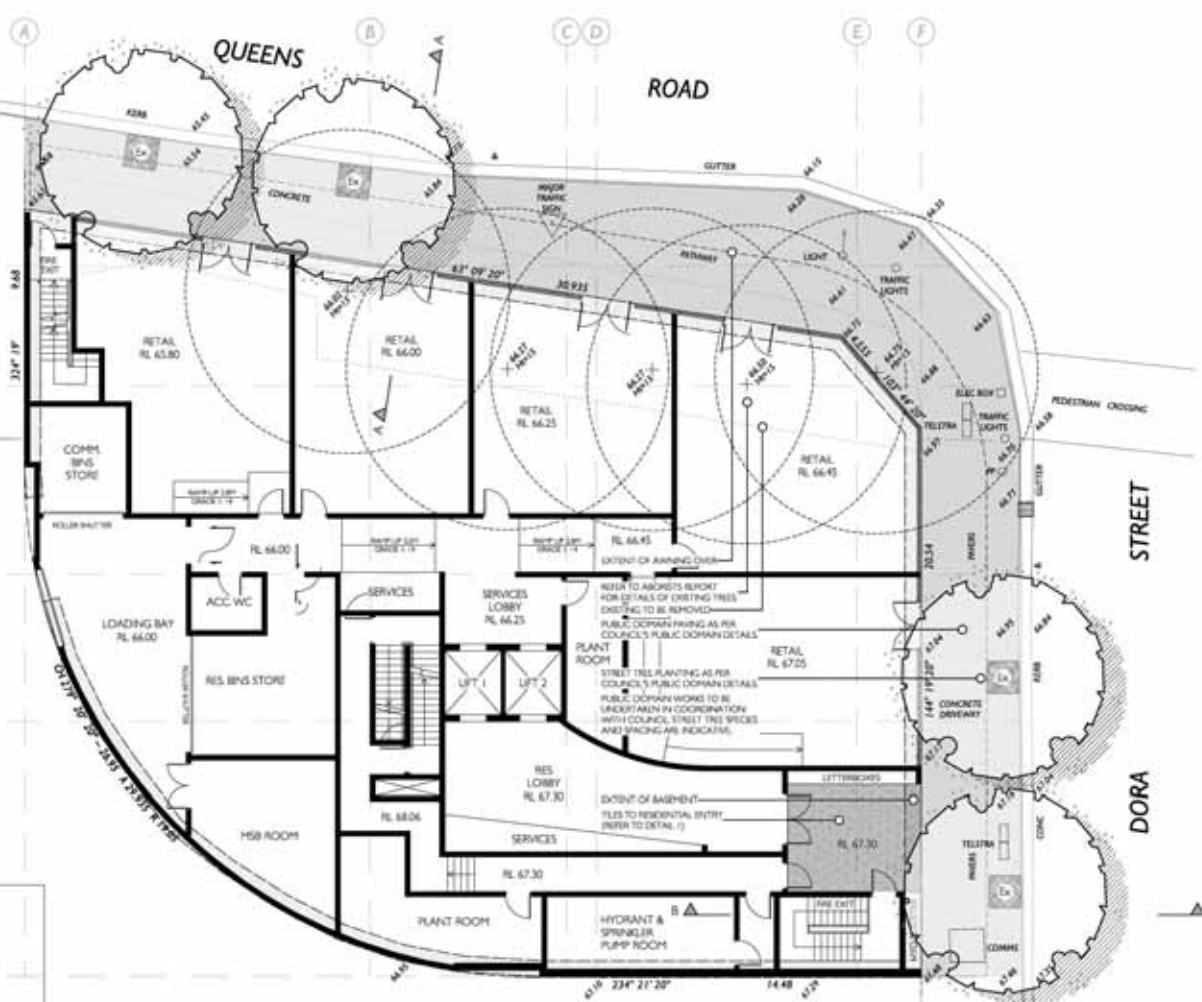
378-384 FOREST ROAD
(UNDER CONSTRUCTION)



QUEEN STREET FRONTAGE (TYPICAL) SECTION AA



ithmus pty ltd ACN 107 760 116
 37 Central Avenue, Crows Nest, NSW 1585
 Ph: 02 9551 4933
 Email: landscape@ithmus.com.au



DORA STREET FRONTAGE (TYPICAL) SECTION BB

- KEY**
- EXISTING LEVELS
 - PROPOSED LEVELS
 - EXISTING TREES TO BE REMOVED
 - EXISTING TO BE REMOVED
 - EXTENT OF BASEMENT UNDER
 - TILES TO PRIVATE OPEN SPACE (REFER TO DETAIL 1)
 - TILES TO COMMON OPEN SPACE (REFER TO DETAIL 1)
 - PUBLIC DOMAIN PAVING (TO GEORGES RIVER COUNCIL SPEC)
 - PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
 - PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
 - PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
 - MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS PARVIFLORA 'TANSTRA') @ 0.5m spacing
 - MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS PARVIFLORA 'TANSTRA') @ 0.5m spacing
 - MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS PARVIFLORA 'TANSTRA') @ 0.5m spacing

Sheet 2 of 5		LANDSCAPE PLAN		CHWG: 800230DA3
DATE	DATE	DATE	DATE	ISSUE: REV
11/06/2017	11/06/2017	11/06/2017	11/06/2017	
COORDINATOR	DESIGNER	DRAWN	CHECKED	
1/5 DORA STREET, HURSTVILLE 2220				
SCALE: 1:1000(BA) - 1:2000(BA)				



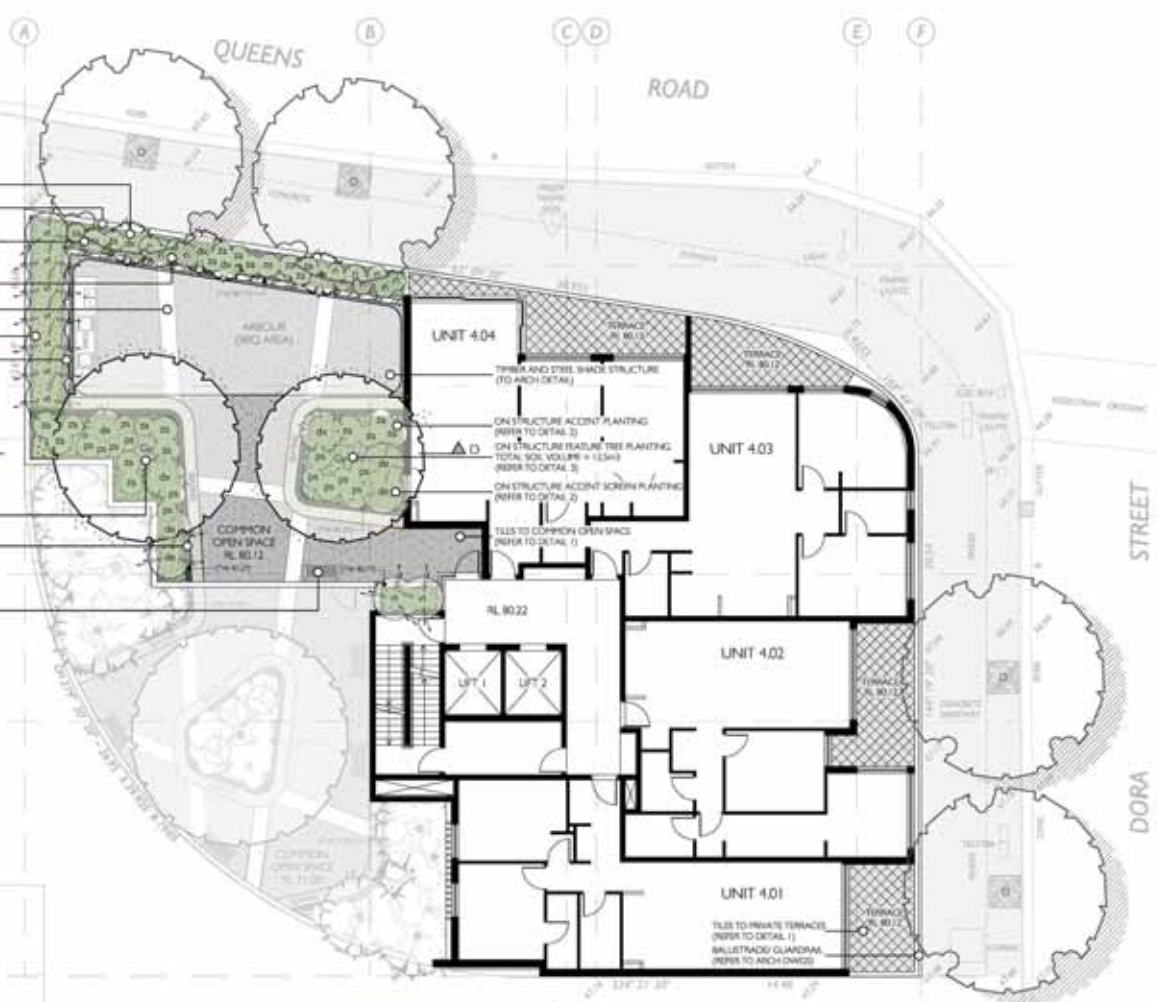
KEY	
	EXISTING LEVEL
	PROPOSED LEVEL
	EXISTING TREE TO BE REMOVED
	EXISTING TO BE REMOVED
DETENT OF BASEMENT UNDER	
	TILES TO PRIVATE OPEN SPACE (REFER TO DETAIL 1)
	TILES TO COMMON OPEN SPACE (REFER TO DETAIL 1)
	PUBLIC DOMAIN PAVING (TO GEORGIA RIVER COUNCIL SPEC)
	PLANTER WALLS TO MATCH WITH BUILDING (less soil depth 100mm) (TO ENG DETAIL 5)
	PLANTER WALLS TO MATCH WITH BUILDING (less soil depth 800mm) (TO ENG DETAIL 5)
	PLANTER WALLS TO MATCH WITH BUILDING (less soil depth 1000mm) (TO ENG DETAIL 5)
	MASS ACCENT PLANTING GROUNDCOVER (POTYCHLOM FASCICULUM VARIETY) @ 50m spacing
	MASS PLANTING ACCENT GROUNDCOVER (POTYCHLOM FASCICULUM VARIETY) @ 2.5m spacing
	MASS PLANTING ACCENT GROUNDCOVER (POTYCHLOM FASCICULUM VARIETY) @ 50m spacing

The graph shows a step function on the interval [0, 10]. The function value is 1 for $x \in [0, 1]$, 0 for $x \in (1, 3)$, 1 for $x \in [3, 5]$, and 0 for $x \in (5, 10]$. The x-axis is labeled with 0, 1, 3, 5, 7, 9, and 10. The y-axis has a tick mark at 1.



- ON STRUCTURE FEATURE PLANTING (REFER TO DETAIL 2)
- BALUSTRADE GUARDRAIL (REFER TO ARCH DWG)
- ON STRUCTURE ACCENT PLANTING (REFER TO DETAIL 2)
- ON STRUCTURE ACCENT SHRUB PLANTING (REFER TO DETAIL 2)
- BANDING TO COMMON OPEN SPACE TILES (REFER TO DETAIL 1)
- ON STRUCTURE SCREEN SHRUB PLANTING (REFER TO DETAIL 2)
- PLANTER WALLS TO MATCH WITH BUILDING PER SOL DEPTH 100mm (REFER TO ARCH DWG)
- REFER TO HYDRAULIC ENG DWGS FOR DETAILS OF SUBSURFACE DRAINAGE TAP LOCATIONS AND ON SITE STORMWATER DETENTION
- ON STRUCTURE FEATURE TREE PLANTING TOTAL SOL VOLUME = 1.5m³ (REFER TO DETAIL 3)
- PLANTER WALLS TO MATCH WITH BUILDING PER SOL DEPTH 100mm (REFER TO ARCH DWG)
- AUTOMATED Drip Irrigation System TO BE INSTALLED TO ALL GARDEN BED AREAS
- BENCH SEATING (INDICATING)

178-184 FOREST ROAD, ANDER CONSTRUCTION



FOURTH FLOOR COMMON OPEN SPACE SECTION 00

- EXISTING LEVELS
- PROPOSED LEVELS
- EXISTING TREE TO BE REMOVED
- EXISTING TO BE REMOVED
- EXTENT OF BASEMENT UNDER
- TILES TO PRIVATE OPEN SPACE (REFER TO DETAIL 1)
- TILES TO COMMON OPEN SPACE (REFER TO DETAIL 1)
- PUBLIC DOMAIN PAVING (TO GEORGES RIVER COUNCIL SPEC)
- PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
- PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
- PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
- PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
- MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS MACROCARPA) @ 0.5m spacing
- MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS MACROCARPA) @ 0.5m spacing
- MASS PLANTING ACCENT GROUND COVER (HYPOCHOERIS MACROCARPA) @ 0.5m spacing



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Sheet 4 of 5

NO.	AMENDMENT	DATE	BY
1			
2			
3			
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7			
8			
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10			

LANDSCAPE PLAN

FOURTH FLOOR

DATE: JUNE 2017

SCALE: 1:100(BA) - 1:200(BA)

DWG: 80023SDA4

ISSUE: REV

15 DORA STREET, HURSTVILLE 2220

0 1 2 3 4 5 6 7 8 9 10m



179.894 FOREST ROAD
ANDER CONSTRUCTION



SEVENTH FLOOR COMMON OPEN SPACE SECTION 1-1

KEY	
	EXISTING LEVELS
	PROPOSED LEVELS
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE REMOVED
	EXTENT OF BASEMENT UNDER
	TILES TO PRIVATE OPEN SPACE (REFER TO DETAIL 1)
	TILES TO COMMON OPEN SPACE (REFER TO DETAIL 1)
	PUBLIC DOMAIN PAVING (TO GEORGIA RIVER COUNCIL SPEC)
	PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
	PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
	PLANTER WALLS TO MATCH WITH BUILDING (min. soil depth 100mm) (TO ENG DETAIL 5)
	MASS ACCENT PLANTING GROUNDCOVER (HYPOPHRASE/PAVING/SLIP/PAVING) @ 5m spacing
	MASS PLANTING ACCENT GROUNDCOVER (HYPOPHRASE/PAVING/SLIP/PAVING) @ 5m spacing
	MASS PLANTING ACCENT GROUNDCOVER (HYPOPHRASE/PAVING/SLIP/PAVING) @ 5m spacing